



II Centennial Plaza
 805 Central Avenue, Suite 500
 Cincinnati, Ohio 45202
 Monday- Friday 7:30 am- 4 pm
 513-352-1559
Boards@cincinnati-oh.gov

ZONING HEARING EXAMINER

Application for Zoning Relief

Office Use Only
 Case Number: _____

Hearing Date: _____

Section 1. SUBJECT PROPERTY
 ADDRESS 3580 Handman Ave, Cincinnati, OH 45226 COMMUNITY Columbia Tusculum
 PARCEL ID(S) 028-0006-0014
 BASE ZONING CLASSIFICATION SF-2 ZONING OVERLAY (if applicable) Hillside
 Non-Residential Project Residential Project (RCO) One -, Two -, and Three- Family Dwelling

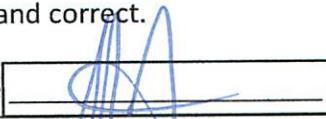
Section 2. APPLICANT
 NAME Redknot Homes CONTACT PERSON (if legal entity) Mark Pottebaum
 ADDRESS 7723 Tylers Place Blvd, #137 CITY West Chester STATE OH ZIP 45069
 EMAIL mark@redknotrealty.com RELATIONSHIP TO OWNER (if not owner) Builder / Developer
 TELEPHONE 513-709-7000

Section 3. OWNER
 NAME Ming and Pai-Shar Tsai CONTACT PERSON (if legal entity) _____
 ADDRESS 3576 Handman Ave CITY Cincinnati STATE OH ZIP 45226
 EMAIL hsinaling@gmail.com RELATIONSHIP TO OWNER (if not owner) _____
 TELEPHONE 513-550-0808

Section 4. NATURE OF RELIEF REQUESTED. (select all that apply)
 Variance Use Variance Special Exception Conditional Use
 Expansion or Substitution of Non Conforming Use Hillside Overlay District Permission
 Urban Design Overlay District Permission DD District Phased Development Approval

Section 5. BRIEF DESCRIPTION OF PROPOSED PROJECT (Do not write "see attached" or leave blank. You may attach a longer statement to this application if the space provided is insufficient to describe your proposed project)
Requesting permission to build a single family home in the Hillside Overlay District.

Section 6. SUMMARY OF REASONS WHY RELIEF SHOULD BE GRANTED.
 You must provide a written statement explaining how the proposed project meets the standards for all relief requested. Separate instructions for preparing this statement are attached. If you fail to follow the instructions for your type of request, your application may be denied.

Section 7. SIGNATURE. The undersigned does hereby certify that the information provided in connection with this application is, to the best of his or her knowledge, true and correct.
 Print Name Mark Pottebaum Signature  Date 2 / 28 / 18

Section 8. ADDITIONAL DOCUMENTATION SUBMISSION REQUIREMENTS.

Submit three copies and one digital copy of the following documentation. If you fail to complete the application or provide all information requested, your application may be denied.

<input checked="" type="checkbox"/>	Submit three (3) copies and one (1) digital copy of the documents listed below. *A digital copy is a cd, thumb drive, etc... Do not email documents.
<input checked="" type="checkbox"/>	Denial letter from Zoning Department, or signed letter from a Zoning Plans Examiner.
<input checked="" type="checkbox"/>	Written statement required in Section 6 of application.
<input checked="" type="checkbox"/>	Applications requesting development permission in a Hillside Overlay District must meet the additional requirements found in Cincinnati Municipal Code 1433-15. Please ensure your application meets these requirements.
<input checked="" type="checkbox"/>	Survey plats, site plans, or other accurate drawings showing boundaries, dimensions, areas, topography, and frontage of the property involved, as well as the location and dimensions of all structures existing and proposed from the nearest property lines. When landscaping is required by the zoning code, a landscaping plan must also be provided.
<input checked="" type="checkbox"/>	Plans, architectural drawings, photographs, elevations, specifications, and other detailed information fully depicting the exterior appearance of the existing and proposed construction, including parking and access, exterior lighting, landscaping, and signs involved in the application.
<input checked="" type="checkbox"/>	If the Hamilton County Auditor's official records do not list the applicant or owner as the owner of the property, please provide a lease, contract to purchase, or other agreement demonstrating the applicant or owner's legal basis to seek the relief requested.
<input checked="" type="checkbox"/>	Other documents or information you intend to introduce at the hearing on this application.
<input type="checkbox"/>	A list of witnesses and expert witnesses who you expect to testify at the hearing on this application.
<input checked="" type="checkbox"/>	A non-refundable application fee. The fee must be paid with a check made payable to "City of Cincinnati." Fees are as follows: Use Variances - \$900; Residential Projects (RCO) One -, Two -, and Three- Family Dwelling - \$300; Non-residential Projects (Non-RCO) - \$500.

To help avoid delays, it is strongly suggested that you present your application to neighboring property owners and any interested neighborhood community groups prior to the hearing on your application. This will give you a prior opportunity to address your neighbors' concerns or objections and can facilitate the approval of your application.